

LEGEND:

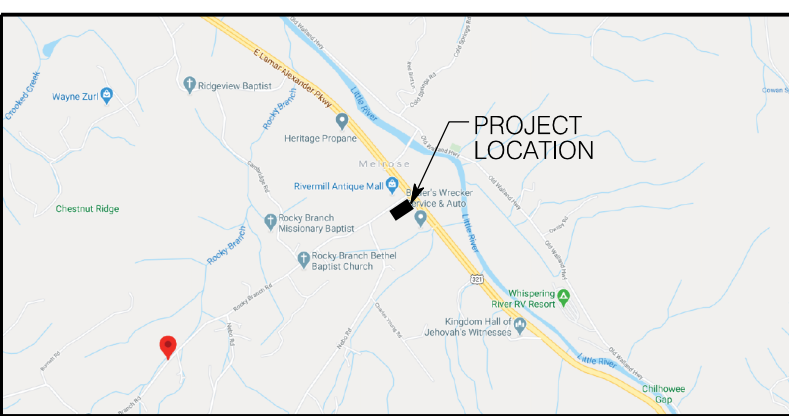
EXISTING	PROPOSED	
		GROUND CONTOUR ELEVATION
		SPOT ELEVATION
		STRUCTURE
	NA	PROPERTY LINE
	NA	EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
		SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		OVERHEAD ELECTRICAL
		WATER METER
		FIRE HYDRANT
NA		SURFACE FLOW
NA		SILT FENCING
		CURB
		CATCH BASIN
NA		CONCRETE PAVEMENT
NA		ASPHALT PAVEMENT
NA		RIP RAP

ROCKY BRANCH ROAD

DUMPSTER LOCATION DUMPSTER IS SUBJECT TO BUILDING SETBACK AND SHOULD BE LOCATED AT LEAST 60' FROM PROPERTY LINE

PROPOSED BUILDING

MERRILYNN SWEET
RB 2479, PG 257



OWNER:
JMB INVESTMENT COMPANY
325 ERIN DR
KNOXVILLE, TN 37919
PHONE: 202-4770
FAX: 202-4771
CONTACT: TIM DUNAWAY

ENGINEER:
WILL ROBINSON & ASSOCIATES
1248 N. SHOREWOOD LN
CARYVILLE, TN 37714
PHONE: 386-4200
FAX:
CONTACT: WILL ROBINSON

CONTRACTOR:
TO BE DETERMINED

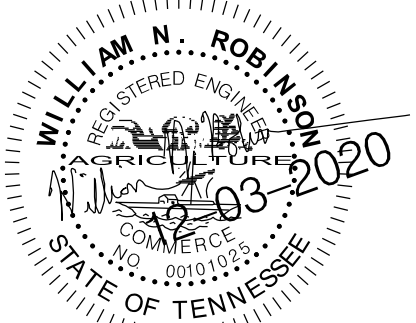
SITE LAYOUT NOTES

1. USE: RETAIL, ZONING: , PARCEL 060 069.00
2. TOTAL BUILDING AREA: PROPOSED 9,301 SF (1 STORY)
3. TOTAL SITE: 1.98 AC, TOTAL DIST AREA: 1.26 AC, TOTAL NEW IMPRV: 0.65 AC.
4. DEED REFERENCE: DB 2584 PAGE 2713
5. PORTIONS OF THIS PROPERTY ARE LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA SEE MAPS 47009C0280C DATED 9/19/2007.
6. SITE BENCHMARK: CONTACT SURVEYOR FOR SITE BENCHMARK, DATUM NAVD 88.
7. SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM A SURVEY BY BLOUNT SURVEYS DATED 02/2020. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
8. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
9. PARKING SUMMARY:
TOTAL REQUIRED: 30 SPACES
TOTAL PROVIDED: 30 SPACES
BASIS:
10. SETBACKS:
FRONT: 60'
SIDE: 20'
REAR: 40'
11. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
12. CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
13. VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
14. TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
15. CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALKS, DRAINAGE STRUCTURES, UTILITIES, OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
16. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND/OR CONCRETE AND NEW PAVEMENT AND/OR CONCRETE. FIELD ADJUSTMENT OF FINAL GRADES MAY BE REQUIRED. INSTALL ALL STORM SYSTEMS PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE.
17. DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR TO THE FACE OF BUILDING UNLESS NOTED OTHERWISE.
18. MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION. INCLUDE ALL UTILITY LOCATIONS AND ALL NEW SIDEWALK RAMP ELEVATIONS FOR ALL SANITARY AND STORM SEWER STRUCTURES SHALL BE INCLUDED. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION.

BLOUNT COUNTY
RB 2548, PG 2060

WILL ROBINSON
& ASSOCIATES

1248 N. Shorewood Ln
Caryville, TN 37714
(865) 386-4200
wrassociates@bellsouth.net



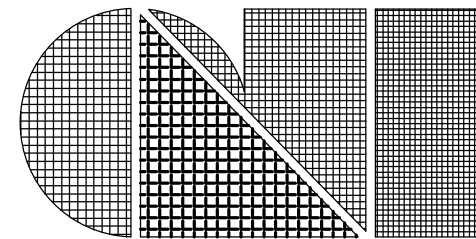
A Site Plan for:
Dollar General Walland

Walland, Tennessee

REVISIONS:
11.16.2020 COUNTY COMMENTS
12.03.2020 BUILDING SHIFT

DRAWN: WNR
CHECKED: WNR
DATE: 11-04-2020
FILE NAME:
PROJECT NO:

C1.1
SITE LAYOUT PLAN
DRAWING



C.L. Helt, Architect Inc.

6405 W. WILKINSON BLVD.
SUITE 200
BELMONT, NC 28012

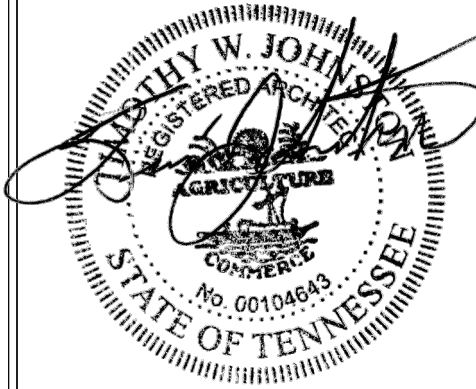
Ph. 704-342-1686
Fx. 704-343-0054
EMAIL: INFO@CLHELT.COM

ARCHITECT'S PROJECT # 20108

Project : **DOLLAR GENERAL**
FOR
JMB INVESTMENT COMPANY, LLC
ROCKY BRANCH RD.
WALLAND, TN 37886
DESIGN BASED ON 2019 PROTOTYPE "B"

Sheet Description :
EXTERIOR ELEVATIONS

Seal



8/31/2020

THIS DRAWING AND ITS COPIES ARE THE COPYRIGHT OF THE ARCHITECT. THEY MAY NOT BE USED FOR PROJECTS OTHER THAN THE DESIGNATED PROJECT WITHOUT THE SPECIFIC WRITTEN APPROVAL OF C. L. HELT ARCHITECT INC. AND OR TIMOTHY JOHNSTON, ARCHITECT

Drawn By :

J. LEE

Checked By :

D. MYERS

Revisions :

1	1/18/2021	ZONING CLARIFICATION
2		
3		
4		

Date :

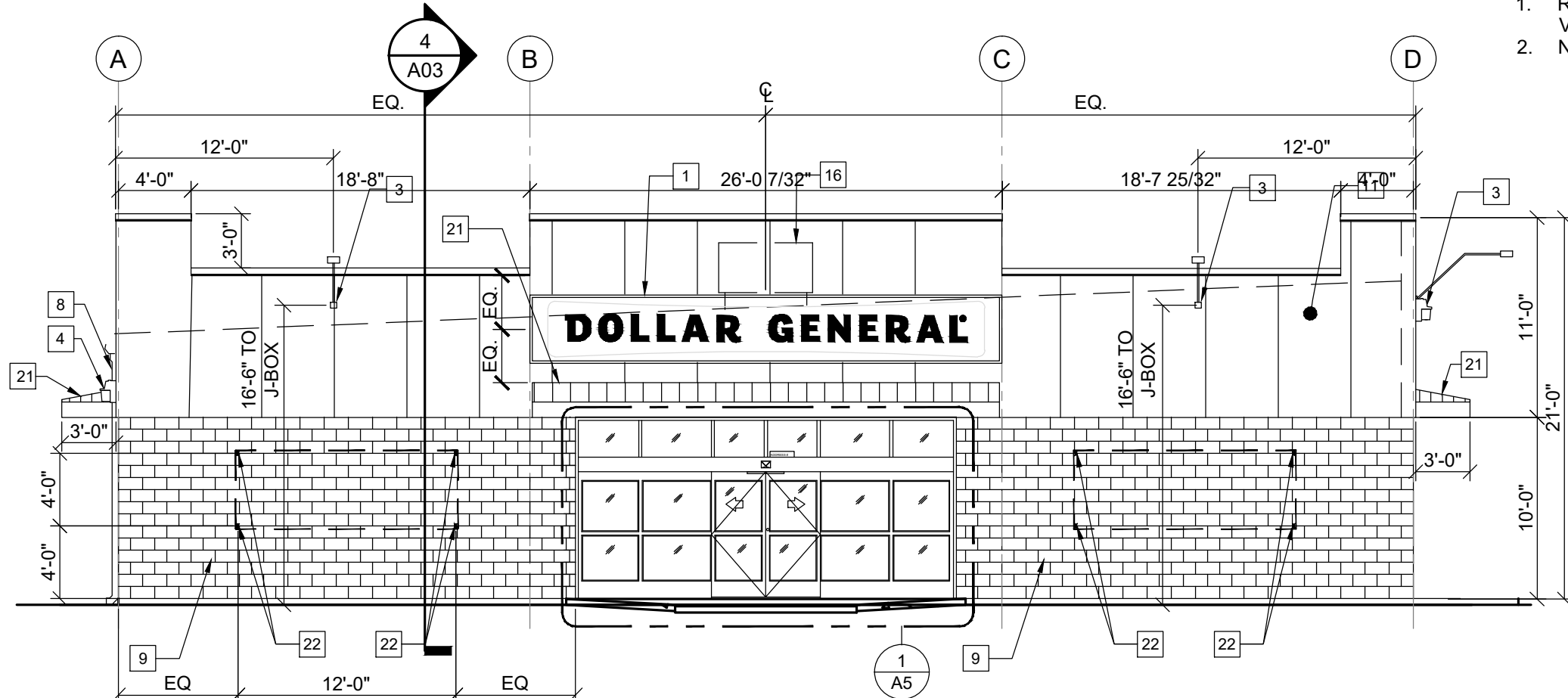
Sheet No.

A02

	PRE-ENGINEERED METAL BUILDING VENDOR	VP BUILDINGS ATTN: DAVID ENGLISH (901) 568-4537		STAR BUILDING SYSTEMS ATTN: RODNEY BURT (800) 879-7827		NUCOR BUILDING SYSTEMS ATTN: BOB BARRY (315) 622-4440 (260) 837-7891		BIG BEE STEEL BUILDINGS, INC. ATTN: KEVIN BUSLER (800) 633-3378		CHIEF BUILDINGS ATTN: ERIN SULLIVAN (800) 845-1767		PREFERRED COLORS IF ALTERNATE EXTERIOR MATERIALS ARE USED INSTEAD OF METAL PANELS																			
EXTERIOR FINISHES		COOL EGYPTIAN WHITE	COOL DARK BRONZE	BRONZE	COOL COTTON WHITE	GALVALUME	LIGHTSTONE	MEDIUM BRONZE KYNAR 600	BRONZE	POLAR WHITE	GALVALUME	LIGHTSTONE	MEDIUM BRONZE KYNAR 600	BRONZE	POLAR WHITE	GALVALUME	SANDSTONE	BURNISHED SLATE	BRONZE	POLAR WHITE	GALVALUME	PARCHMENT	ANTIQUE BRONZE	BRONZE	POLAR WHITE	GALVALUME	SHERWIN WILLIAMS #703 - "BALANCED BEIGE"	SHERWIN WILLIAMS #704 - "VAN DYKE BROWN"	BRONZE	WHITE BY COLOR MANUFACTURER	GALVALUME
EXTERIOR FINISHES ARE TO MATCH OR BE EQUAL TO VP METAL BUILDING SYSTEMS FINISH SELECTION UNLESS AUTHORITY HAVING JURISDICTION DOES NOT ALLOW.																															
GUTTERS		●					●						●				●					●					●				
DOWN SPOUTS		●					●						●				●					●					●				
SIDE AND REAR METAL WALL PANELS & TRIM, RECEIVING & EMERGENCY EXIT DOORS (EXTERIOR OF DOORS TO BE PAINTED, REFER TO DOOR SCHEDULE)		●					●						●				●					●				●					
ARCHITECTURAL BLOCK AT BUILDING FACADE TO BE PRE-FINISHED OR PAINTED (2 COATS-LOXON XP MASONRY COATING A24W400 SERIES) TO MATCH THE SIDE AND REAR METAL WALL PANELS		●					●						●				●					●				●					
FLAT METAL SOFFIT AT STOREFRONT VESTIBULE AREA					●					●									●						●					●	
BUILDING FASCIA WALL, PARAPET OVER ENTRANCE, AND CANOPY		●					●						●				●					●				●					
STOREFRONT SYSTEM				●			●												●					●					●		
STANDING SEAM METAL ROOF PANELS						●				●											●				●					●	
LINER PANELS (INTERIOR SALES AND RECEIVING FLOOR)					●					●										●				●					●		

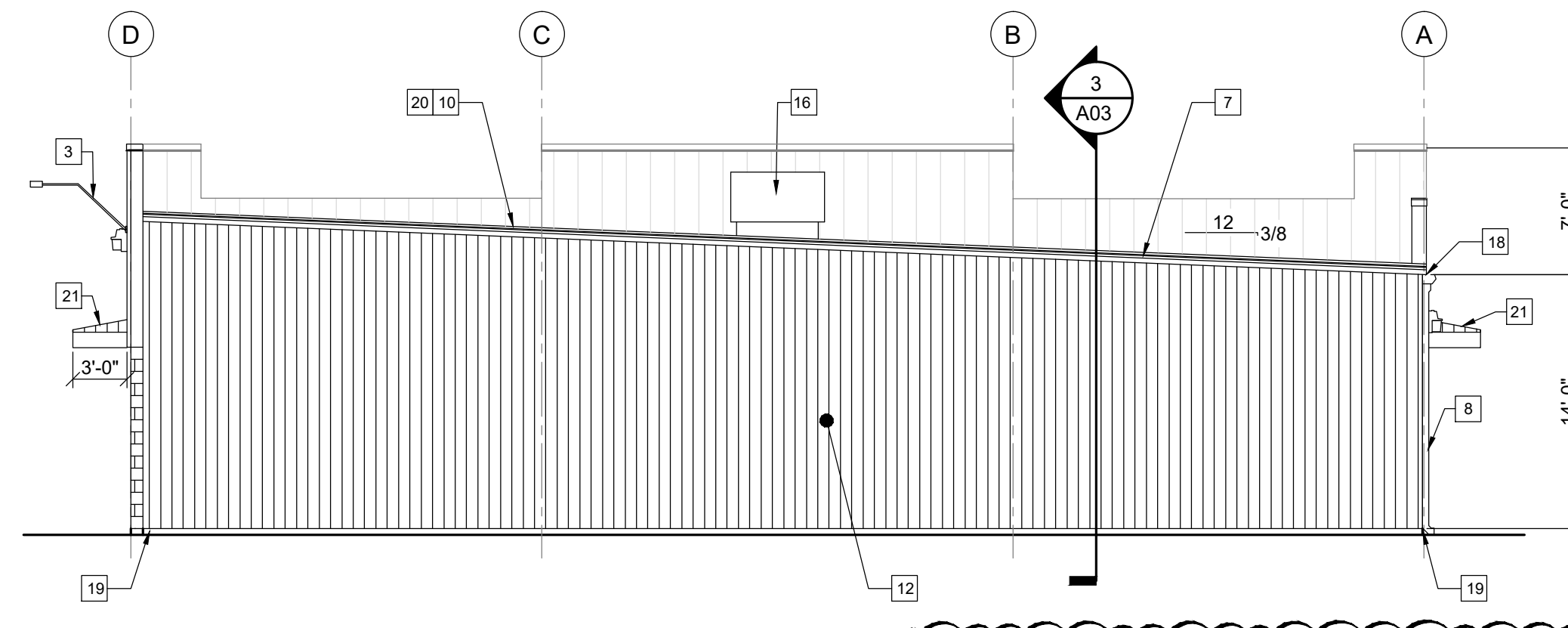
NOTE:

- REFER TO SHEET T01 FOR ADDITIONAL INFORMATION ON RECOMMENDED NATIONAL ACCOUNT VENDORS.
- NATIONAL ACCOUNT AND CONTACT INFORMATION SUBJECT TO CHANGE.



1 FRONT ELEVATION

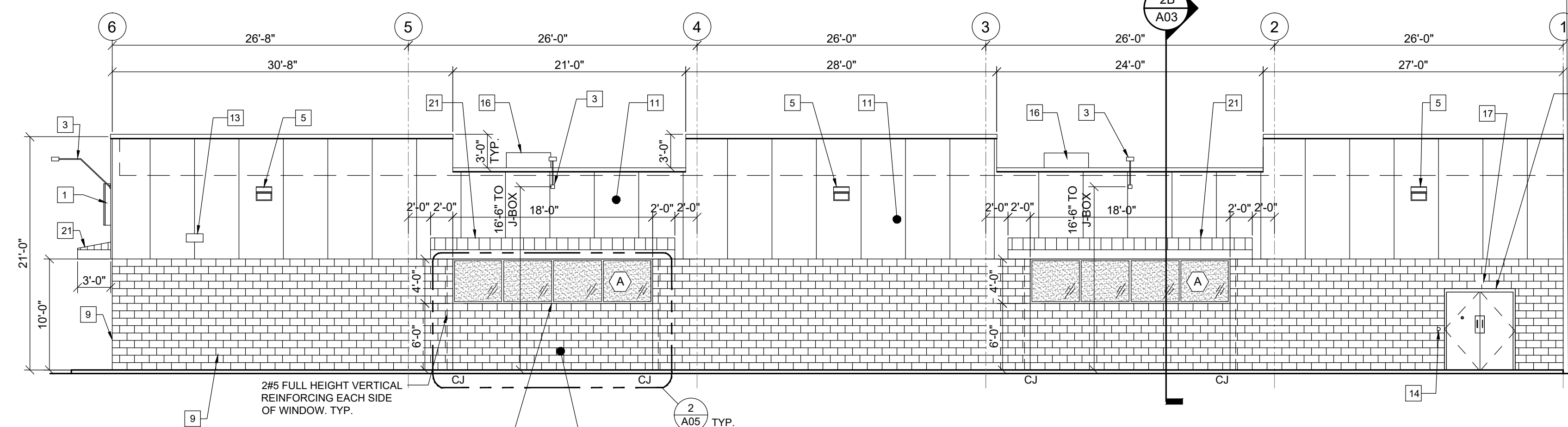
SCALE: 1/8"=1'-0"



2 REAR ELEVATION

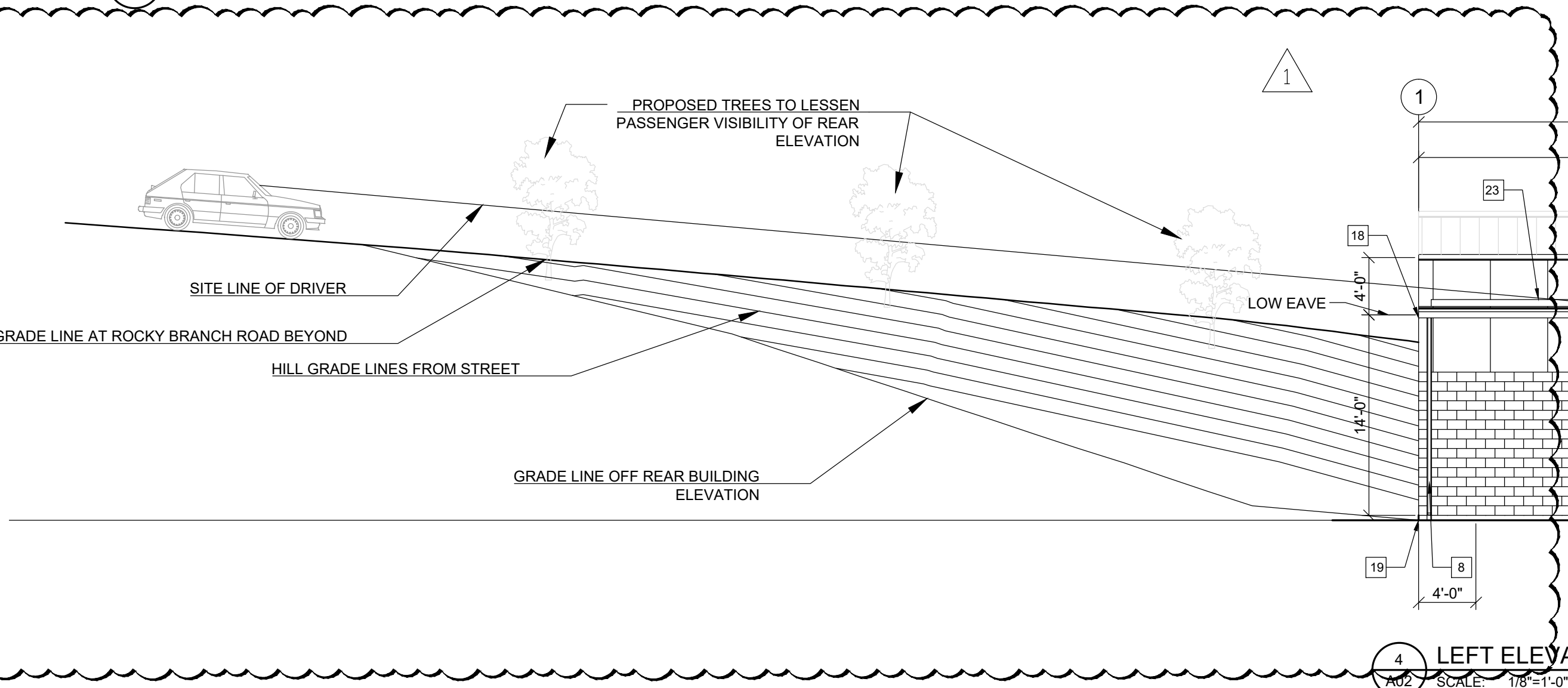
SCALE: 1/8"=1'-0"

1
DUE TO GRADE CHANGE FROM ROAD TO REAR ELEVATION OF PROPOSED BUILDING, VISIBILITY OF THE REAR ELEVATION WILL BE MINIMAL BY DRIVERS TRAVELING EAST ON ROCKY BRANCH ROAD. VISIBILITY OF REAR ELEVATION WILL BE LIMITED TO THE UPPER PORTION OF THE WALL AND ROOF (SEE 4-A02 FOR ADDITIONAL SITE LINE INFORMATION). ADDITIONAL TREES WILL BE PLANTED AT KEY LOCATIONS IN ORDER TO FURTHER ELIMINATE VISIBILITY OF THE LOWER PORTION OF THE REAR WALL.



3 RIGHT ELEVATION

SCALE: 1/8"=1'-0"






4 LEFT ELEVATION

SCALE: 1/8"=1'-0"

2 - L 5x3 1/2x1/4 W/ 4" BEARING OR 8" CMU PRECAST LINTEL

SPANDREL WINDOW, SEE 8/A05 (TYP.)

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Lum. Watts	Description
	2	HB	SINGLE	19726	0.950	150	LEDs-AL-150W-T4-5K - Wall Mt, 42in Upsweep Arm, Type 4,
	5	G	SINGLE	4740	0.950	42.63	LEDBG42W001B-5000K - Wall Pack, 42W, Full Cutoff, 5K
	1	HP-S-2	TWIN	16462	0.950	148.23	LEDs-AL-150W-T4-5K-S - Double Pole Mount, 150w, Type 4,

Numeric Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Illuminance	Fc	0.40	20.0	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	3.07	20.0	0.0	N.A.	N.A.

Luminaire Location Summary

LumNo	Label	Z
1	G	18.5
2	G	18.5
3	HB	18.5
4	HB	18.5
5	G	16.5
6	G	16.5
7	G	16.5
9	HP-S-2	20

Notes:

Plan Notes:

Calculations at Ground Level (10' x 10' Grid Spacing). Refer to luminaire location summary for mounting heights of each fixture. Pole mounted fixtures include a 2ft concrete base. Mounting heights indicated on luminaire location summary is a total A.F.G. height.

General Notes:

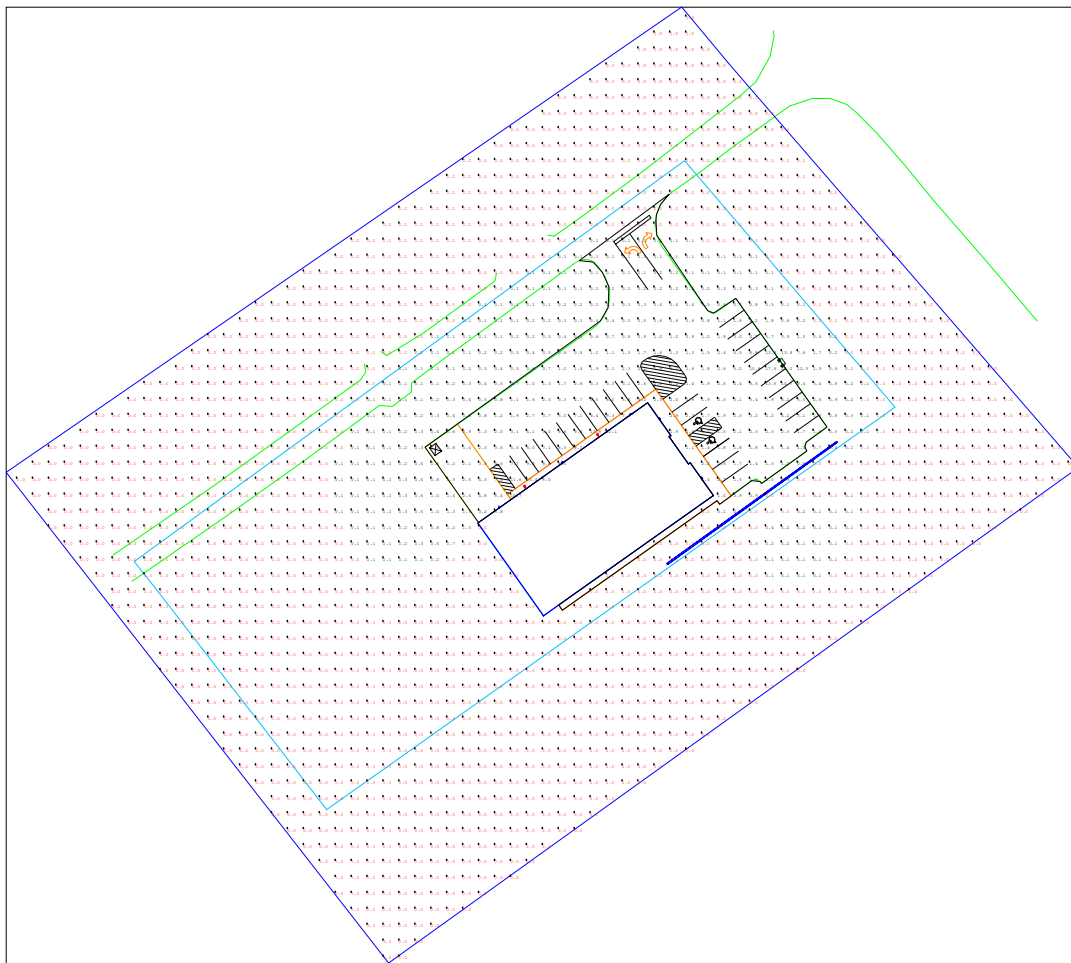
Due to changing lighting ordinances it is the contractors responsibility to submit the site photometrics & luminaire specs to the local inspector before ordering to ensure this plan complies with local lighting ordinances. This lighting design is based on information supplied by others. Changes in electrical supply, area geometry & objects within the lighted area may produce illumination values different from the predicted results shown on this layout. This layout is based on .IES files that were lab tested or computer generated, actual results may vary.

Project name: Dollar General
Walland 22375 Lighting Layout
Prepared for: CL Helt Architect
Prepared by: BMF, LC

LEDS - LLC

N8874 Fire Lane 1
Menasha, WI 54952
PH 920-840-6054 / FAX 920-840-6424
www.leds-llc.com





Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
1	2	HB	SINGLE	10720	0.90	LED642W018-5000K - Wall Pack, 42W, Full Cutoff, 5K
2	5	G	SINGLE	4740	0.90	LED642W018-5000K - Wall Pack, 42W, Full Cutoff, 5K
3	1	HP-S-2	TWIN	16402	0.90	LED6-AL-120W-14-5K-S - Double Pole Mount, 120w, Type 4, 5K, Shielded

Calculation Summary							
Label	Calc Type	Units	Avg	Max	Min	AvgMin	MaxMin
Typ	Illuminance	FC	0.40	20.0	0.0	N/A	N/A
Parking Lot	Illuminance	FC	3.07	20.0	0.0	N/A	N/A

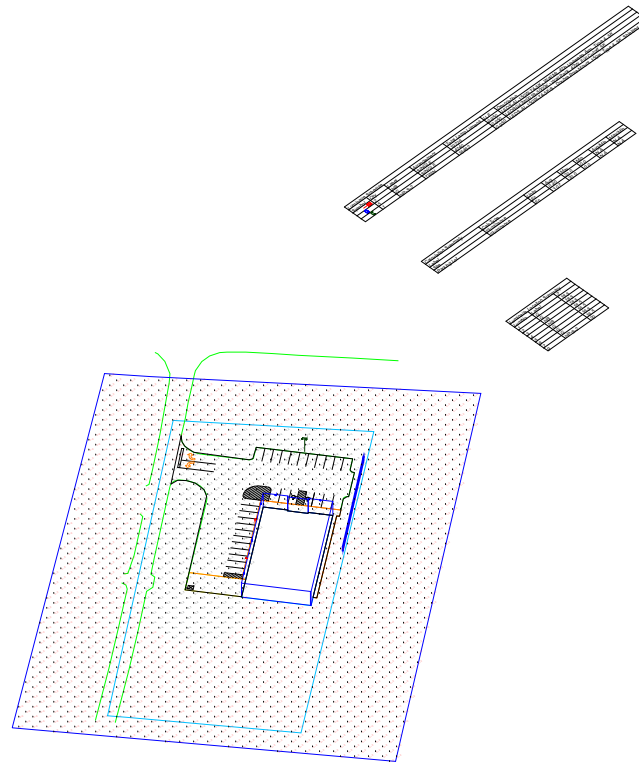
Luminaire Location Summary			
LumNo	Label	X	Z
1	G	18.5	
2	G	18.5	
3	HB	18.5	
4	HB	18.5	
5	G	18.5	
6	G	18.5	
7	G	18.5	
8	HP-S-2	20	

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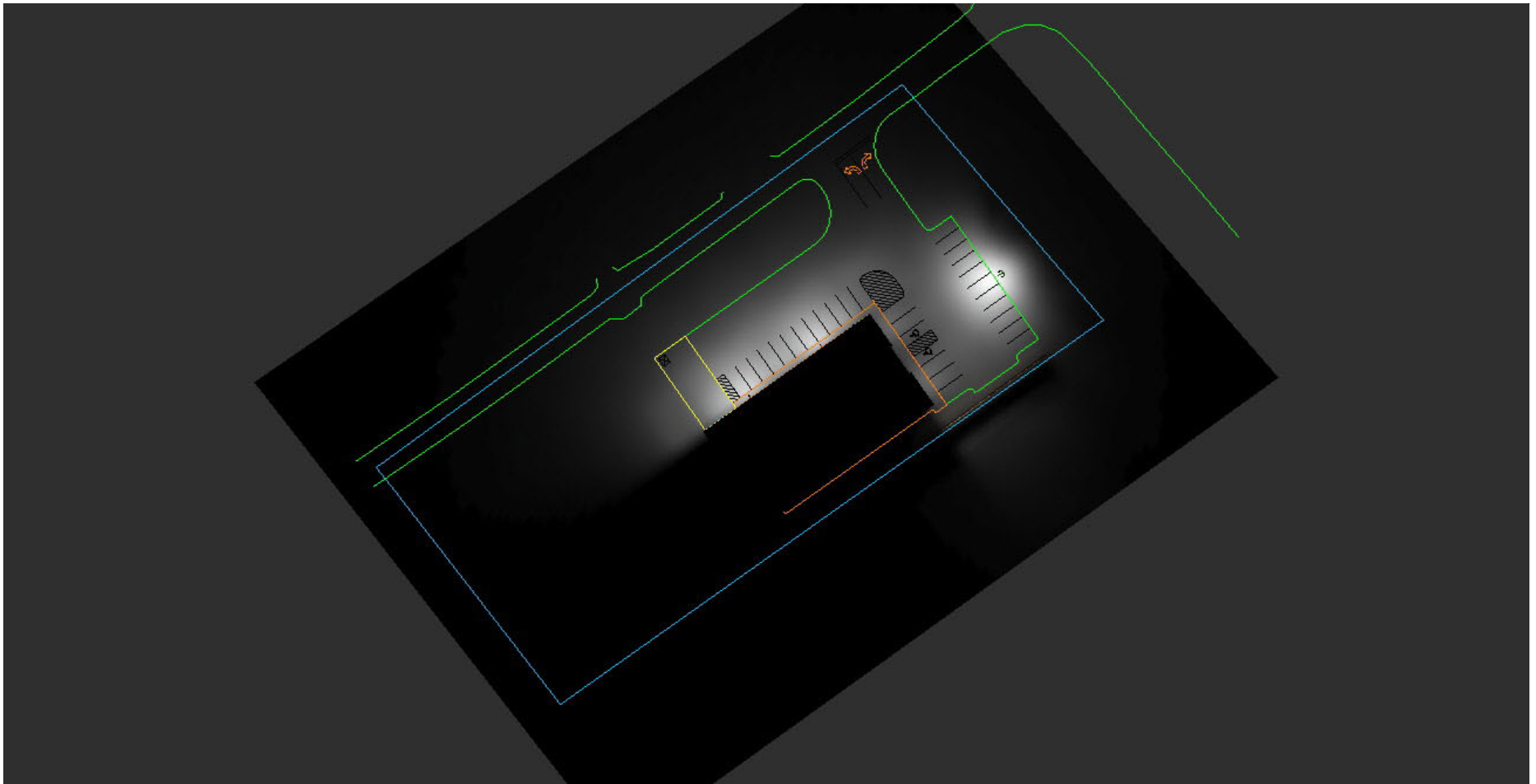


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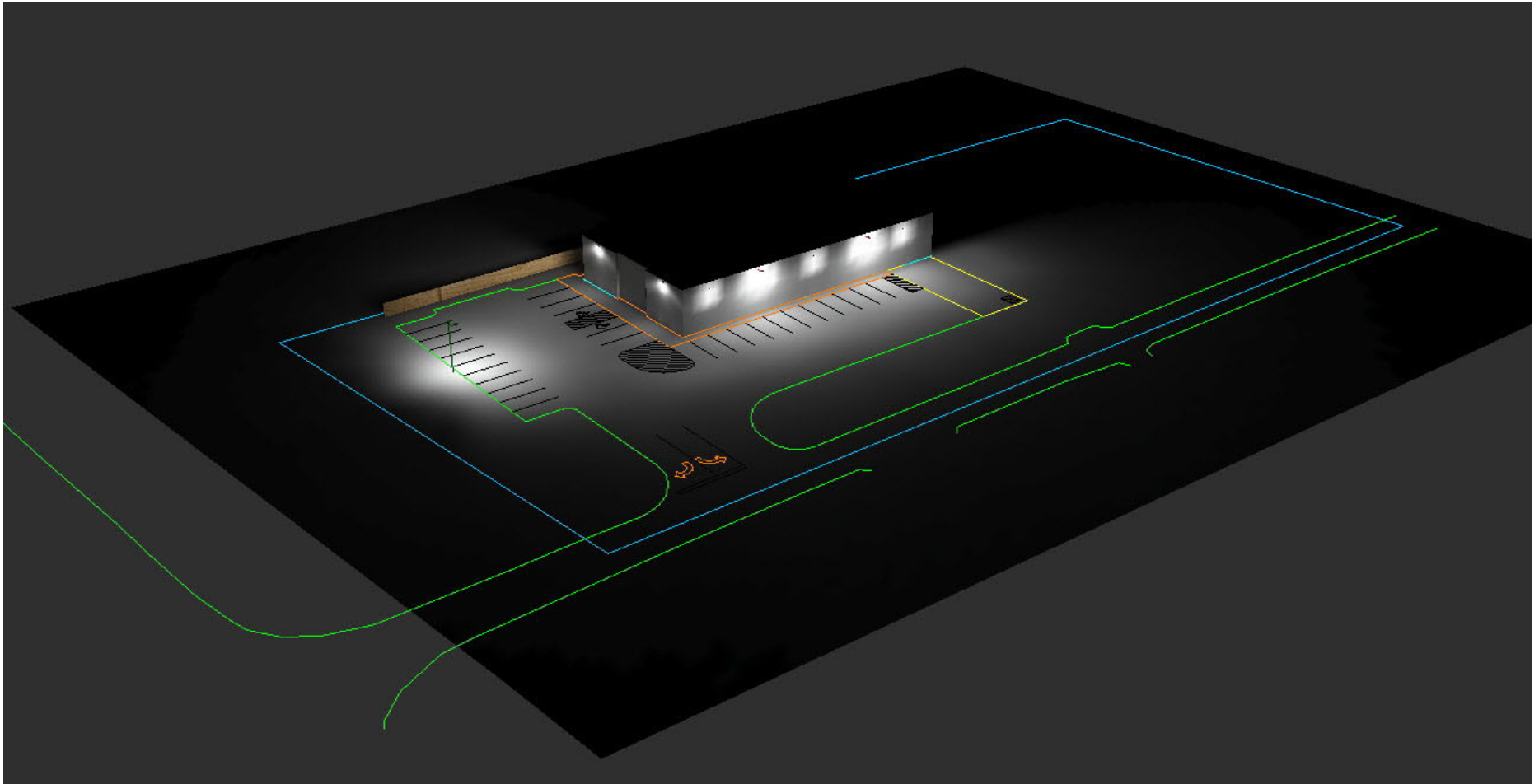


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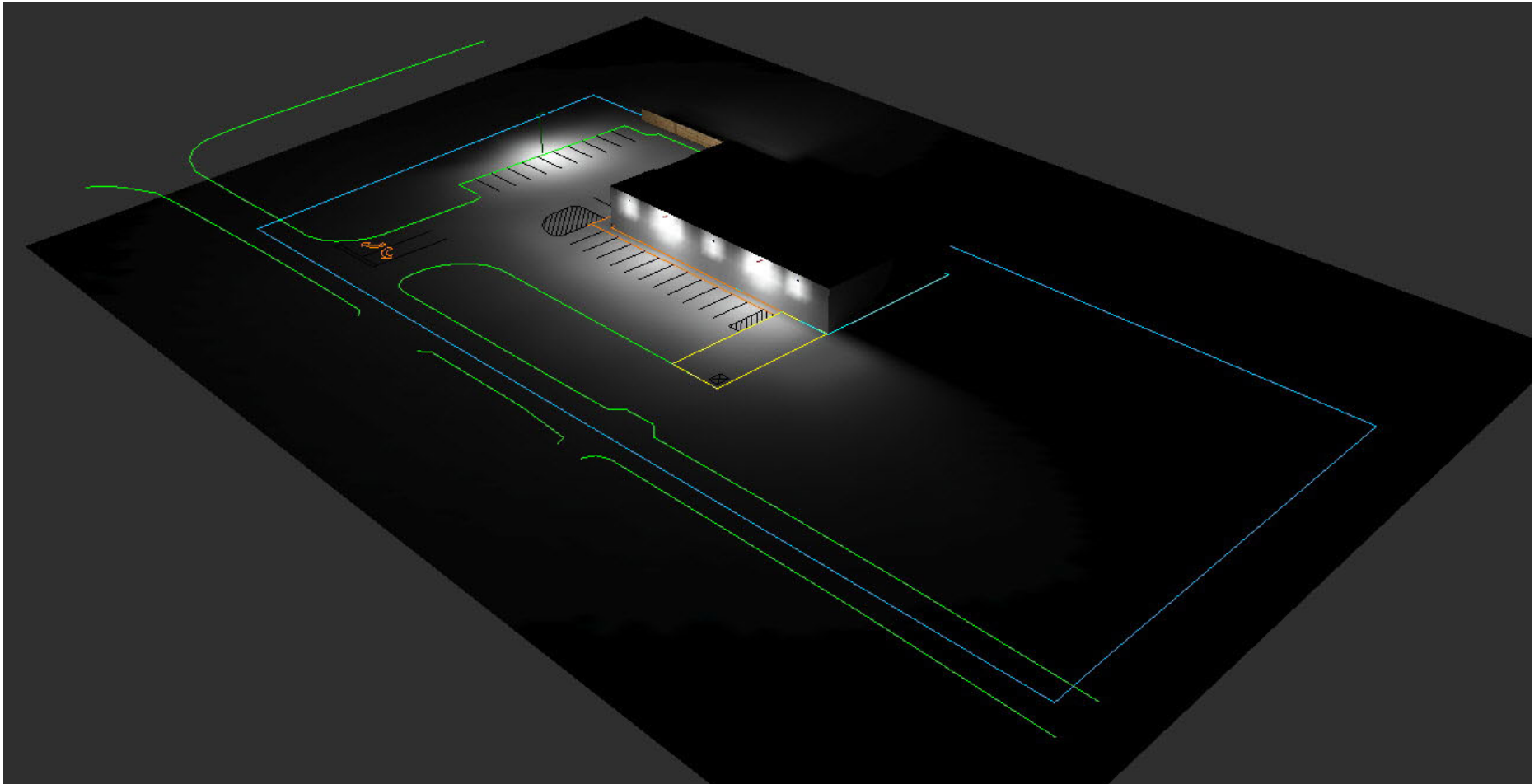


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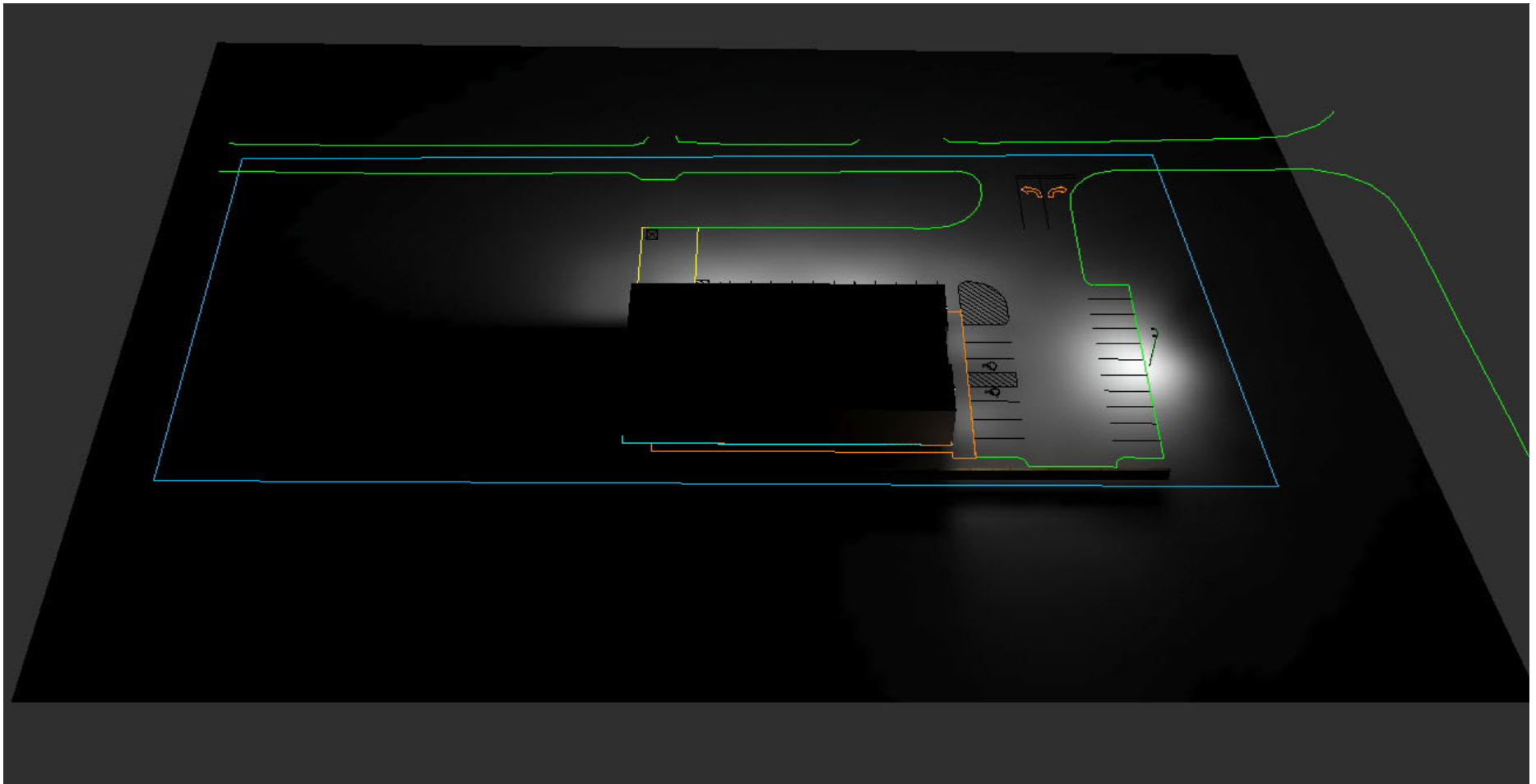


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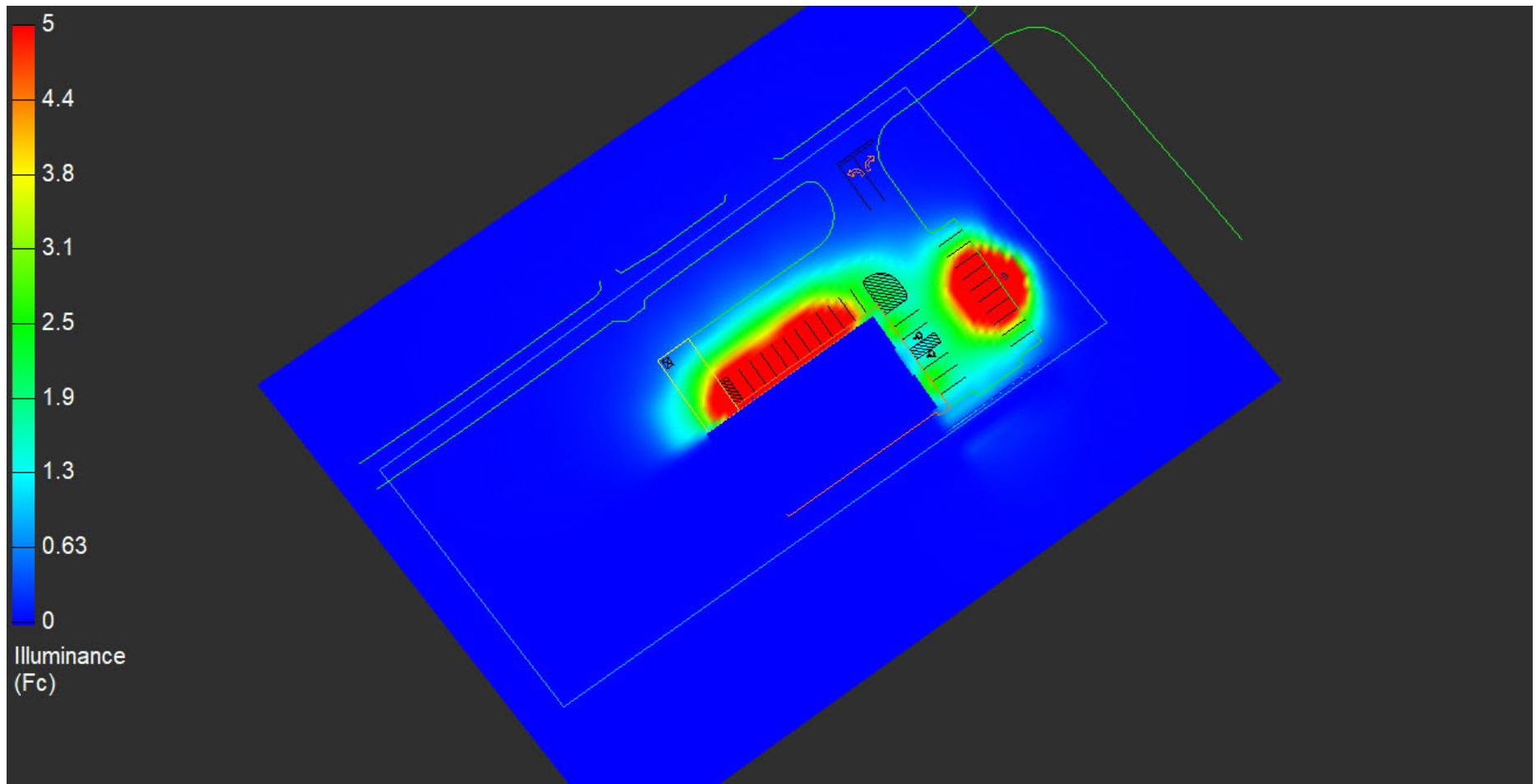


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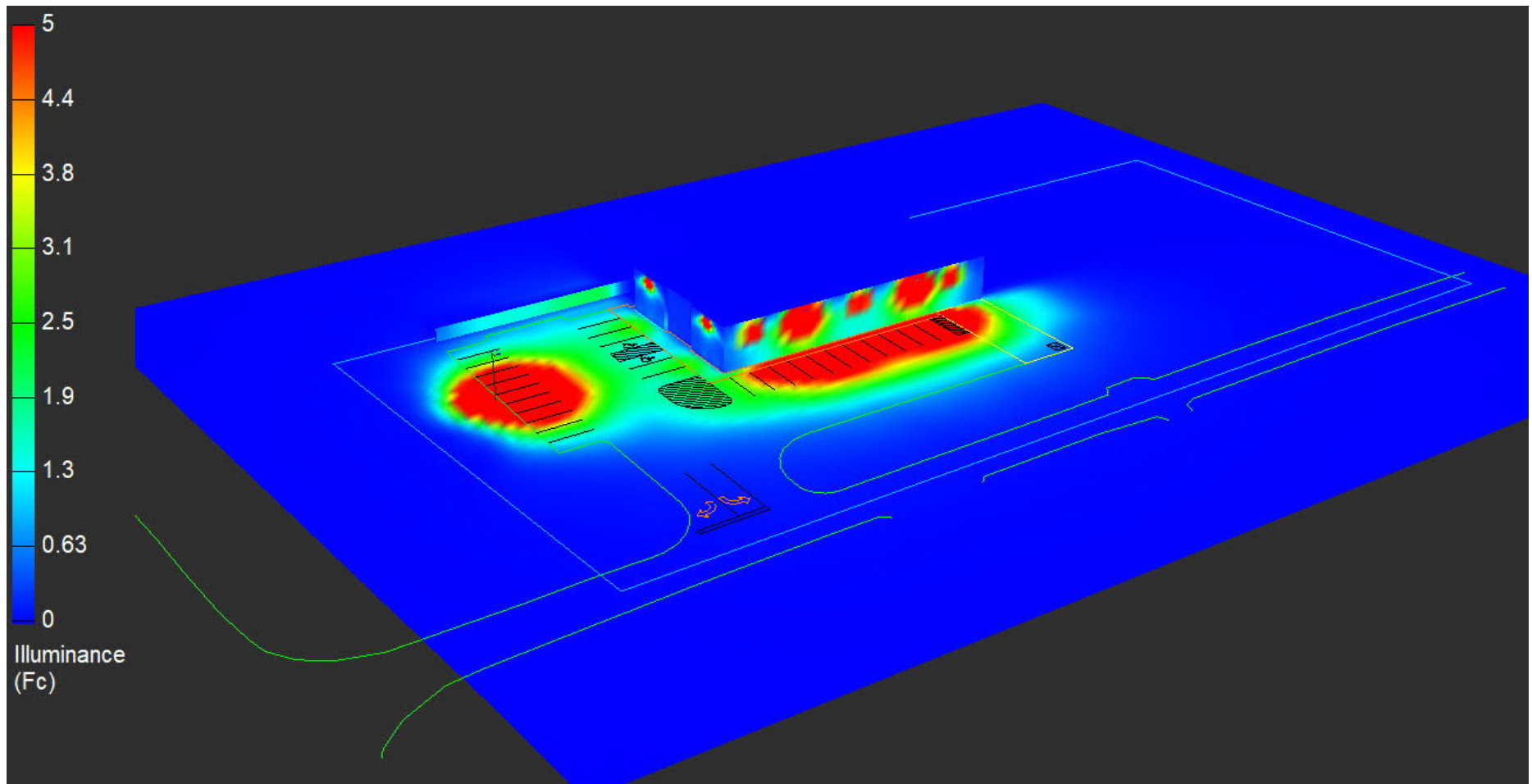


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